



**IMPORTANT!**

**PROJECTS CANNOT BE  
STARTED PRIOR TO RECEIVING  
THE PARK MANAGER'S  
APPROVAL**

**ANY WORK STARTED BEFORE APPROVAL MAY NEED  
TO BE REMOVED**

**WAKAW LAKE REGIONAL PARK  
SITE DEVELOPMENT PERMIT**

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**PERMIT REQUIRED**

A Site Development Permit is required for all structures or changes on seasonal sites. *The requirement for permits is a seasonal licensing condition of Wakaw Lake Regional Park, under which failure to comply may result in eviction from the site.*

Structures include positioning and size of RV units and the construction or moving of sheds or shelters, decks, deck covers and fences. Structures are the personal property of the Lease Holder but must comply with standards.

Changes to a site include the addition of dirt fill, sand, gravel, crushed rock, fire pits, and the removal of brush or trees. Any dirt, sand, gravel, or crushed rock become the property of the Park and may not be removed. Changes to an electrical panel, pedestal or plug post can only be done by the Park. The pouring of concrete is not allowed.

**REGIONAL PARK BYLAWS - BUILDINGS AND STRUCTURES**

57. No person shall develop, erect, alter, demolish, remove, or relocate any building or structure on Park land without:

(1) First obtaining all permits pertaining to the project being undertaken. All building projects must conform to the Uniform Building and Accessibility Act, The Canadian Electrical Code and the Saskatchewan Supplement to the Canadian Electrical Code, the Public Health Act and Regulations to the Public Health Act, and any other Act of the Parliament of Canada or regulation pursuant to any Act or Act of the Parliament of Canada and any Act or Act of the Government of Saskatchewan or regulation pursuant to an Act or Act of the Government of Saskatchewan that pertain to the project that is to be undertaken; and

(2) The written consent of the Park Authority.

**Requirements for RV units:**

No RV units will exceed 575Ft<sup>2</sup> in total size and must have a black water waste holding tank.

**Requirements for sheds:**

No site may have more than three sheds or shelters in total.

A site may have two sheds to a maximum of 100 square feet each and one at a maximum of 40 square feet.

No fee will be charged for sheds or shelters under 40 Ft<sup>2</sup> and there will be no fee charged for one shed greater than 40 Ft<sup>2</sup>. An Additional Shed fee will be charged for any other sheds greater than 40 Ft<sup>2</sup>.

1. Maximum size for storage sheds is one hundred square feet (100 Ft<sup>2</sup>) – outside measurement. An inspection is required by the Park Manager after completion of the floor, prior to construction of walls. Walls must not exceed eight (8) feet in height and the roof pitch must not exceed five/twelve (5/12) slope. All sheds must have a standard entrance door.
2. Sheds used for sleeping accommodation must meet the requirements stated in the Park Building Bylaw and building standards for sleeping accommodations. These sheds require an inspection by a qualified building official.
3. Sheds maybe combined under one roof providing no areas exceed the maximum size, and are divided with a wall, and under the condition it meets sideline requirements as per the building bylaw.
4. All sheds that have electricity must be in accordance with the *Canadian Electrical Code*.
5. All sheds with plumbing fixtures must have a black water holding tank and require a plumbing permit issued by the Saskatchewan Health Authority. A copy of the approved permit must be presented to the Park Manager prior to any installation.

All sheds must have a finished exterior (which includes paint or siding).

**Requirements for decks and deck covers:**

1. The maximum size for a deck is twelve feet (12') by the length of the trailer.
2. The maximum size for a deck cover is twelve feet (12') by the length of the deck, with 16" eave.
3. Maximum deck cover roof height allowed is one foot (12") above the trailer.
4. Deck covers must be properly anchored. Posts must be anchored into the ground or bolted to deck joists. Posts must be anchored to top beams with metal anchor plates. Ceiling joists or rafters must be anchored to top beams with metal hurricane ties.
5. Deck covers must not be enclosed – to allow free access from the camping units doors.
6. Decks that are 24" or higher from the ground require guards and handrails. They are to be at least 36" high and designed to prevent climbing, with no opening greater than 4" between spindles.
7. Decks may not be enclosed with any partitions or walls in front of any of the trailer doors.

**WAKAW LAKE REGIONAL PARK**  
**SITE DEVELOPMENT PERMIT - APPLICATION**

DATE: \_\_\_\_\_ LOT NUMBER: \_\_\_\_\_

NAME (Please Print): \_\_\_\_\_ Tel. # \_\_\_\_\_

PLEASE PROVIDE A DRAWING SHOWING THE DIMENSIONS AND POSITION OF YOUR PROJECT IN RELATION TO YOUR RV UNIT AND THE BOUNDARIES OF YOUR SITE.

THE NUMBER AND POSITION OF TREES THAT YOU WISH TO REMOVE MUST BE SHOWN ON THE DRAWING AND MAY NOT BE REMOVED UNTIL TAGGED FOR REMOVAL BY THE REGIONAL PARK BOARD'S AUTHORIZED REPRESENTATIVE. BRUSH, TREE LIMBS, OR CONSTRUCTION DEBRIS MAY NOT BE PLACED IN GARBAGE BINS.

THE REGIONAL PARK GENERAL MANAGER OR DESIGNATE MUST APPROVE ALL SITE DEVELOPMENT PERMITS BEFORE WORK BEGINS.

I hereby agree to comply with the regulations of the Wakaw Lake Regional Park. I acknowledge that it is my responsibility to ensure compliance with any other applicable bylaws, acts, and regulations regardless of any plan review or inspections that may or may not be conducted by the authorized representatives of the Park. I also agree to save the Wakaw Lake Regional Park harmless from any liability that may occur because of site development. This permit will become void on September 30 of the year issued, unless an extension is granted by the Park Manager or Building Official. Any unfinished work will require a new permit for completion in the following year.

APPLICANT'S SIGNATURE: \_\_\_\_\_

THIS PERMIT IS REFUSED: \_\_\_\_\_ REASON:

\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Park Official's Signature

THIS PERMIT IS ISSUED SUBJECT TO THE FOLLOWING CONDITIONS:

\_\_\_\_\_  
\_\_\_\_\_

APPROVED: \_\_\_\_\_

Park Official's Signature

RECORD OF INSPECTIONS:

\_\_\_\_\_  
\_\_\_\_\_

**WAKAW LAKE REGIONAL PARK**  
**SITE MAINTENANCE REQUEST**

DATE: \_\_\_\_\_ LOT NUMBER: \_\_\_\_\_

NAME (Please Print): \_\_\_\_\_ Tel. # \_\_\_\_\_

Please specify the work that you are requesting to be completed by the regional park maintenance staff.

A drawing showing the dimensions and position of the proposed work in relation to your trailer and the boundaries of your site may be helpful. THE NUMBER AND POSITION OF TREES THAT YOU WISH REMOVED MUST BE SHOWN ON A DRAWING.

I REQUIRE NOTIFICATION PRIOR TO COMMENCEMENT OF MAINTENANCE WORK. I ACKNOWLEDGE THAT UPON NOTIFICATION OF COMMENCEMENT OF WORK, IT IS MY RESPONSIBILITY TO ENSURE THAT ALL OBSTRUCTIONS OR ARTICLES THAT MAY INTERFERE WITH WORK OR MAY BE DAMAGED IN THE PROCESS ARE SECURED OR REMOVED FROM THE SITE. EXAMPLES INCLUDE BUT ARE NOT LIMITED TO SUCH THINGS AS AWNINGS, EXTENSION CORDS, FURNITURE, GOLF CARTS AND TOYS. I ALSO AGREE TO SAVE THE WAKAW LAKE REGIONAL PARK HARMLESS FROM ANY DAMAGE OR LIABILITY THAT MAY OCCUR AS A RESULT OF SITE MAINTENANCE WORK.

APPLICANT'S SIGNATURE: \_\_\_\_\_

THIS REQUEST FOR MAINTENANCE WORK IS REFUSED; \_\_\_\_\_ REASON:

\_\_\_\_\_  
Park Official's Signature

THIS REQUEST FOR MAINTENANCE WORK IS APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

APPROVED: \_\_\_\_\_  
Park Official's Signature

Date of completion of maintenance work and comments of Maintenance Staff:

# WAKAW LAKE REGIONAL PARK AUTHORITY

## BUNK HOUSE BUILDING GUIDELINES MAXIMUM SIZE 100 SQ FEET (9.29 SQ.M)

1. Be provided with minimum 1 egress window (for egress & ventilation) with an unobstructed opening of 0.35 sq.m. (3.78 sq.ft.) & an adequate person door which opens outward in the direction of exit travel,
2. the door is provided with conforming locking hardware (i.e. deadbolt),
3. if power is equipped to the building; a hardwired smoke alarm with battery backup. If no power supplied to building then a battery-operated smoke alarm is required,
4. any wall located within 2.4m (8') of a property line requires a 45-minute fire-resistance rating (FRR). Example
  - a. 5/8" Type X drywall inside
  - b. Studs with insulation
  - c. outdoor gypsum to exterior
  - d. vinyl cladding
  - e. in lieu of "c" & "d" metal or hardboard cladding
5. No openings in the wall within 2.4m (8') of the property line – no windows or doors facing the property line,
6. be supplied with a portable fire extinguisher,
7. door to have a viewer or window within or next to it,
8. roof soffits; any portion within 1.2m (4') of the property line must be non-vented & may not extend to within 459 mm (18") of the property line
9. no fuel fire appliances permitted in building.

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Reservations (May – September) Ph: 306-233-5744 Fax: 306-233-5666  
Golf Registration 233-5955 Park Manager 233-5252  
Administration Office Ph: 306-233-4644 Fax: 306-233-5925  
PO Box 730 Wakaw SK S0K 4P0  
Email: [info@wakawlakerp.ca](mailto:info@wakawlakerp.ca)

**MUNICIPALITY:** WAKAW LAKE REGIONAL PARK

**DEVELOPMENT PERMIT / BUILDING PERMIT APPLICATION**

(Check ALL  that apply)

|               |                  |                                  |                                   |                                      |            |       |             |         |  |
|---------------|------------------|----------------------------------|-----------------------------------|--------------------------------------|------------|-------|-------------|---------|--|
| TYPE OF WORK: |                  | <input type="checkbox"/> NEW     | <input type="checkbox"/> ADDITION | <input type="checkbox"/> ALTERATIONS | PERMIT NO: |       | OFFICE USE: |         |  |
|               |                  | <input type="checkbox"/> REMOVAL | <input type="checkbox"/> DEMO     | <input type="checkbox"/> RELOCATION  |            |       |             |         |  |
| LOCATION      | PROJECT ADDRESS: |                                  |                                   | LLD:                                 | 1/4:       | SEC:  | TWP:        | RGE:    | <input type="checkbox"/> W2M<br><input type="checkbox"/> W3M |
|               | SUBDIVISION:     |                                  |                                   | LOT:                                 | BLK:       | PLAN: |             | PARCEL: |  |

|                    |  |  |  |  |  |  |       |  |    |  |
|--------------------|--|--|--|--|--|--|-------|--|----|--|
| OWNER / CONTRACTOR | Owner  |  |  | Company Name (if applicable)           |  |  |       |  |    |  |
|                    | Mailing Address  |  |  | City                                   |  |  | Prov  |  | PC |  |
|                    | Phone (Check best use)                                       |  |  | Email                                  |  |  |       |  |    |  |
|                    | <input type="checkbox"/> Cell <input type="checkbox"/> Other |  |  | (Most correspondence will be by email) |  |  |       |  |    |  |
|                    | Contractor / Company   |  |  | Phone                                  |  |  | Email |  |    |  |

|   |                  |                                  |
|---|------------------|----------------------------------|
| START DATE:   | COMPLETION DATE: | ESTIMATED VALUE OF CONSTRUCTION: |
|   |                  |                                  |
| NOTE: "Value" of construction is not the same as "cost" of construction; see bylaw for definition. A revised value may be determined. |                  |                                  |

|                 |   |  |   |                                       |                                     |                                     |   |
|-----------------|---|--|---|---------------------------------------|-------------------------------------|-------------------------------------|---|
| TYPE OF PROJECT | <input type="checkbox"/> RESIDENTIAL:   | <input type="checkbox"/> SITE BUILT HOME | <input type="checkbox"/> RTM                | <input type="checkbox"/> MOBILE HOME  | <input type="checkbox"/> DECK       | <input type="checkbox"/> DET GARAGE | <input type="checkbox"/> BSMT DEV   |
|                 | DETAILED DESCRIPTION:<br>(I.E. NEW CUSTOM HOME, RELOCATING EXISTING MOBILE HOME, CONSTRUCTING NEW FOUNDATION FOR EXISTING HOUSE, DETACHED GARAGE, ETC.)                         |  |   |                                       |                                     |                                     |   |
|                 | <input type="checkbox"/> COMMERCIAL:  | <input type="checkbox"/> SHOP / STORAGE  | <input type="checkbox"/> VEHICLE STORE/REPR | <input type="checkbox"/> RETAIL STORE | <input type="checkbox"/> INDUSTRIAL | <input type="checkbox"/> OFFICE(S)  | <input type="checkbox"/> ASSEMBLY (I.E. RESTAURANT / CHURCH / HALL / GYM) |
|                 | OTHER / DETAILED DESCRIPTION:<br>(I.E. COLD STORAGE, RENT SPACE FOR NEW COFFEE SHOP, TRUCK STORAGE & REPAIR W/ OFFICES, NEW HOTEL, TENANT IMPROVEMENT FOR CLOTHING STORE, ETC.) |  |   |                                       |                                     |                                     |   |

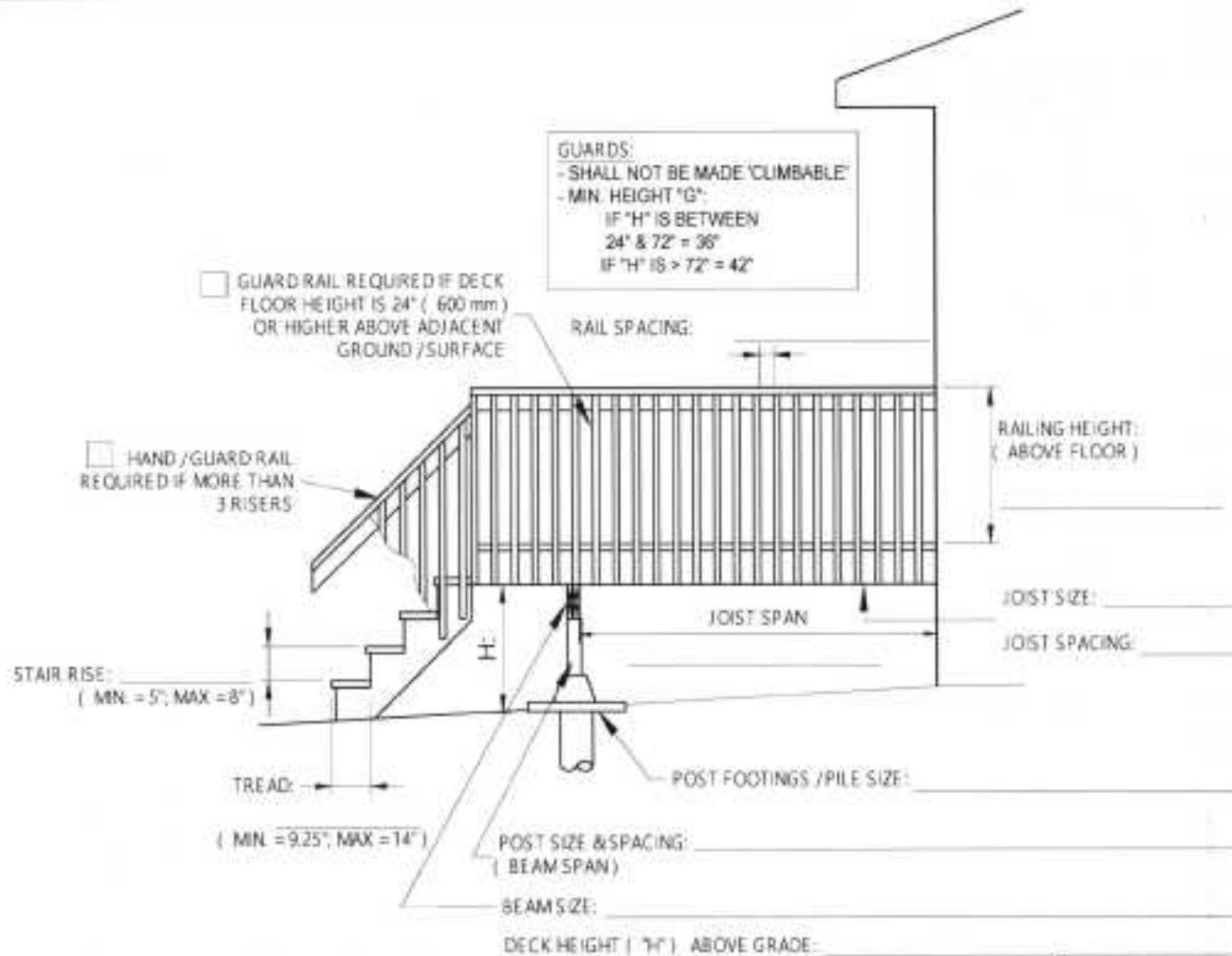
|  |  |  |  |
|--|--|--|--|
| SUBMITTALS   | <input type="checkbox"/> Site Plan Submitted   | A SITE PLAN IS REQUIRED FOR ALL PROJECTS   |  |
|  | <input type="checkbox"/> Drawings Submitted OR | Complete Drawing Package, including elevations, floor plans, sections, and details | Required for ALL projects, unless a deck or detached garage (use Worksheet)      |
|  | <input type="checkbox"/> Worksheet Submitted   | BT Worksheet (in lieu of drawings); for decks and detached garage projects         | See <a href="http://www.buildtechinspections.ca">www.buildtechinspections.ca</a> |
| PERMIT APPLICATIONS WILL NOT BE PROCESSED UNTIL ALL REQUIRED INFORMATION HAS BEEN RECEIVED |  |  |  |

|                     |  |      |
|---------------------|--|------|
| APPLICANT SIGNATURE | <p>I hereby acknowledge that I have read this application and certify that the information contained herein is correct.<br/>                 I hereby acknowledge that I understand that permission to begin building is not granted to me until a Building Permit signed by the building official, administrator, or administration staff is returned to me.<br/>                 I hereby agree to comply with the Building Bylaw of the local authority and acknowledge that it is my responsibility to ensure compliance with the Building Bylaw and Zoning Bylaw of the local authority and with any other applicable bylaws, acts and regulations regardless of any plan review or inspections that may or may not be carried out by the local authority or its authorized representative.<br/>                 I agree to perform all construction work solely in accordance &amp; compliance with the information &amp; plans provided by me in this application and will obtain all other work permits required in conjunction with my development.</p> |      |
|                     | Applicant Signature  | Date |

## RESIDENTIAL DECK - PERMIT APPLICATION CHECKLIST

Applicant's Name: \_\_\_\_\_  
 Project Street Address: \_\_\_\_\_

Please fill in all requested information and checkboxes to ensure a proper building code assessment can be completed prior to issuing a building permit.



**SITE PLAN:**  
 Please provide a site plan for this project showing your proposed Deck. It is recommended that your proposal be drawn on **photocopied** Real Property Report or Surveyor's Certificate. Do not use your 'only copy' of these documents as the municipality is not responsible for lost or damaged reports.

The **SITE PLAN** should include the following:

- Size and location of proposed deck.
- Distance to all property lines.
- Dimensions of deck.
- Location of steps & railings.
- All other existing buildings.

Site Plan Attached

Prepared by  
**BuildTECH** Consulting & Inspections Inc.  
[www.buildtechinspections.ca](http://www.buildtechinspections.ca)

**DECK DEVELOPMENT CHECKLIST, PAGE 2**

**CODE ARTICLES**

| Article<br>NBCC 2015 | Description<br><br>The following NBCC Article descriptions are summaries of the articles and sentences, not the actual NBCC 2010 code article.  |
|----------------------|---|
| 9.3.2.9.             | Structural wood framing members shall be pressure-treated to resist decay where the vertical clearance between the framing members and the ground is less than 150 mm (6").   |
| 9.8.7.1.             | A handrail is required for exterior steps with more than 3 risers. The handrail height is to be between 865 mm (34") and 965 mm (38") high.   |
| 9.8.8.               | <p>Guard rails are required around decks &amp; landings where the surface is more than 600 mm (24") higher than the adjacent ground. Guard rails are required to be minimum 900 mm high (36"), and 1070 mm (42") high where the surface is more than 1800 mm (72") above the adjacent ground.</p> <p>900 mm (36") high guard rails (measured vertically from a line drawn through the stair nosings) are required on flights of steps where the tread height is more than 600 mm (24") above the adjacent ground.</p> <p>Openings through any guard shall be of a size that will prevent the passage of a spherical object having a diameter of 100 mm (4").</p> <p>Where decks are more than 4.2 m (13'-9"), guards are to be constructed so that they will not facilitate climbing, where all elements protruding from the vertical and located within the area between 140 mm and 900 mm above the floor or walking surface protected by the <i>guard</i> conform to at least one of the following Clauses:</p> <ul style="list-style-type: none"> <li>a) they are located more than 450 mm horizontally and vertically from each other,</li> <li>b) they provide not more than 15 mm horizontal offset,</li> <li>c) they do not provide a toe-space more than 45 mm horizontally and 20 mm vertically, or</li> <li>d) they present more than a 2-in-1 slope on the offset.</li> </ul> |
| 9.17.2.2.            | The wood posts are required to be laterally supported if the distance from finished ground to the underside of the joists is more than 600 mm (24"). Toe-nailing beams to posts is not considered adequate lateral support. Provide mechanical connections that will provide lateral support, or lateral bracing (i.e. knee bracing) connecting the posts to the deck frame.  |
| 9.17.2.2.            | <p>Where the distance from grade to the underside of the deck joists is more than 2 m (6'), then posts supporting the deck beam shall be minimum 6x6, or 3-ply 2x6 built-up columns. 4x4 posts are not permitted.</p> <p>Decks where the distance from grade to the underside of the deck joists is more than 2 m (6') shall be supported on concrete piles, minimum 10" diameter x 10' deep c/w Sonotube and re-bar, and adequate means of securing the post to the piles.</p>   |
| 9.23.1.1.            | The maximum spacing for stair stringers is 30" o.c.   |
| 9.23.4.2.            | The maximum span (distance between posts) for a 2 ply 2x10 beam is 9'-4". The maximum span (distance between posts) for a 2 ply 2x8 beam is 7'-8". Other beam spans are to be designed in accordance with Sentence 9.23.4.2. of the NBCC 2010, or the Canadian Wood Council's "Span Book".  |
| 9.23.9.4.            | The joists are required to be blocked, strapped, or cross-bridged at mid-span.  |
| 9.23.9.9.            | The maximum length of the joist cantilever past the beam is 600 mm (24") for 2x8 joists, and 750 mm (30") for 2x10 joists.  |

**Bunkhouse Application Worksheet**

Fill in blanks and  
check all boxes that apply

Example - Roof Construction:

Shingles  
7/8" OSB w/ H-Clips  
Trusses @24" o.c.  
T&G pine ceiling

Roof Construction

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

R \_\_\_\_\_ Insulation  
6mil-CGSB Poly

Example—Wall Construction:

Vinyl Siding  
Housewrap  
3/8" OSB  
2x4 @ 16" o.c.  
T&G pine

Wall Construction

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

R \_\_\_\_\_ Insulation  
6mil-CGSB Poly

5/8" GWB (fire resistance)  
Req'd @ 48" or less to  
property line

Example - Floor Construction:

3/4" T&G Plywood  
2x6 @ 16" o.c.  
PT 6x6 skids @ 48" o.c.  
Compacted granular

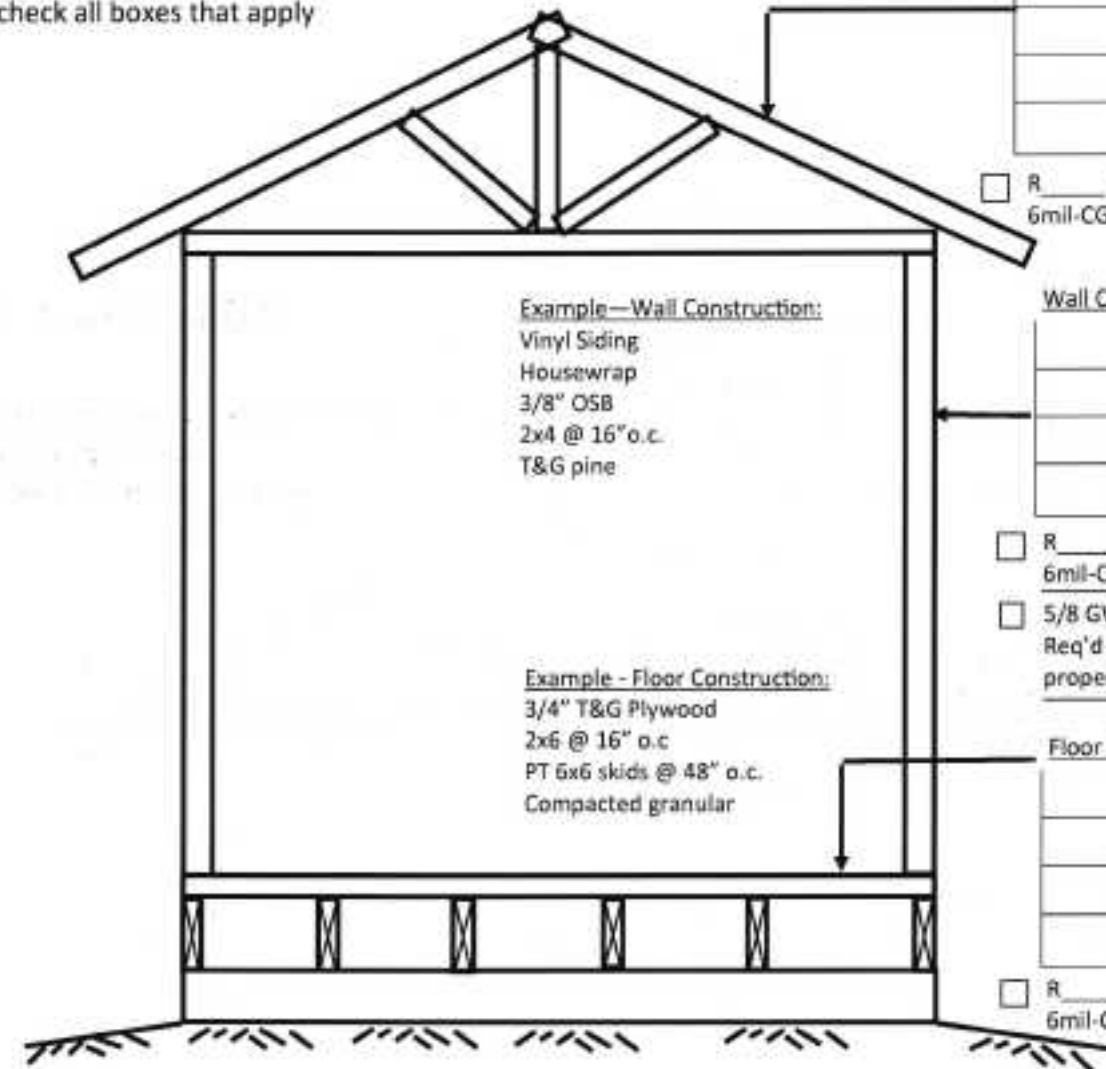
Floor Construction

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

R \_\_\_\_\_ Insulation  
6mil-CGSB Poly



Heating Options:

No Heat     Electric     Other: \_\_\_\_\_

Smoke Alarms:  
(req'd in BH, in each bedroom if multiple sleeping rooms)

Battery Op (no power)     Elec Op (bldg. has power)     Where applicable, multiple smoke alarms interconnected

Other Information Attached:

Floor Plan Sketch: show layout of the bunkhouse including door and window locations

- If more than 1 bedroom, each bedroom without a door must have egress window that allows for an opening with minimum 3.77 ft<sup>2</sup> unobstructed opening, opening must have no dimensions less than 15".
- If less than 48" to property line, no windows permitted in the wall facing property line, and 5/8" Type X GWB required for fire protection on that wall.

Site Plan Sketch: show building location and other buildings on property with dimensions to prop lines shown

**WAKAW LAKE REGIONAL PARK**  
**SITE MAINTENANCE REQUEST**

DATE: \_\_\_\_\_ LOT NUMBER: \_\_\_\_\_

NAME (Please Print): \_\_\_\_\_ Tel. # \_\_\_\_\_

Please specify the work that you are requesting to be completed by the regional park maintenance staff.

A drawing showing the dimensions and position of the proposed work in relation to your trailer and the boundaries of your site may be helpful. THE NUMBER AND POSITION OF TREES THAT YOU WISH REMOVED MUST BE SHOWN ON A DRAWING.

I REQUIRE NOTIFICATION PRIOR TO COMMENCEMENT OF MAINTENANCE WORK. I ACKNOWLEDGE THAT UPON NOTIFICATION OF COMMENCEMENT OF WORK, IT IS MY RESPONSIBILITY TO ENSURE THAT ALL OBSTRUCTIONS OR ARTICLES THAT MAY INTERFERE WITH WORK OR MAY BE DAMAGED IN THE PROCESS ARE SECURED OR REMOVED FROM THE SITE. EXAMPLES INCLUDE BUT ARE NOT LIMITED TO SUCH THINGS AS AWNINGS, EXTENSION CORDS, FURNITURE, GOLF CARTS AND TOYS. I ALSO AGREE TO SAVE THE WAKAW LAKE REGIONAL PARK HARMLESS FROM ANY DAMAGE OR LIABILITY THAT MAY OCCUR AS A RESULT OF SITE MAINTENANCE WORK.

APPLICANT'S SIGNATURE: \_\_\_\_\_

THIS REQUEST FOR MAINTENANCE WORK IS REFUSED: \_\_\_\_ REASON:

\_\_\_\_\_  
Park Official's Signature

THIS REQUEST FOR MAINTENANCE WORK IS APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:

APPROVED: \_\_\_\_\_  
Park Official's Signature

Date of completion of maintenance work and comments of Maintenance Staff: